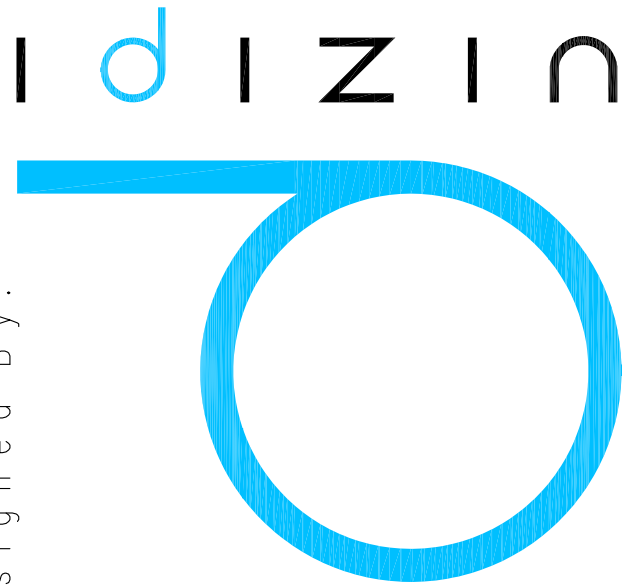




s y d n e y

Shop 3, 134-136 Woodville
Road, Merrylands 2160
P. 8677 9837
m. 0487 434946 (0487 idizin)
e. admin@idizin.com.au
PO BOX 604 MERRYLANDS NSW 2160
w w w . i d i z i n . c o m . a u

Full Chartered Member:



BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

1. DO NOT SCALE FROM DRAWINGS. USE WRITTEN DIMENSIONS ONLY.
2. BUILDER TO CHECK & VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF WORK.
3. IT IS THE OWNERS RESPONSIBILITY TO ENSURE THAT THE ENGINEER HAS INVESTIGATED SUBSOIL CONDITIONS & DESIGNED ALL STRUCTURAL ELEMENTS TO SUIT.
4. THE DESIGN & DETAILS CONTAINED ON THIS DRAWING IS SUPPLIED IN CONFIDENCE & IS NOT TO BE USED FOR ANY OTHER PURPOSE, EXCEPT THAT AUTHORISED BY idizin sydney.

© COPYRIGHT 2022
idizin sydney



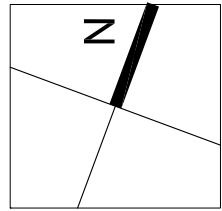
LEGENDS:

- SMOKE ALARMS TO AS3786

Issue	Amendment	Initials	Cc/le
A	Issued for DA Approval	A.T	14.11.22

A d d r e s s :
LOT: 16 SEC: 6
DP: 5701

15 Matthews Street
Punchbowl, NSW



P r o j e c t :

Tree Removal, Construction of 2
Storey attached Dual Occupancy
and outbuildings, Torrens Title
Subdivision and Front Fence

T i t l e :

Site, Roof Plan and BCA Notes

C o u n c i l :

Canterbury Bankstown
Council

D A D R A W I N G S

D r a w n : D a t e : P r o j e c t N o .

A T 14.11.22 34-2022

C h e c k e d : S c a l e :

J K 1:100/200 (A2) D r a w . N o .

S h e e t o f I s s u e A

02 10 DA-201

GENERAL BCA NOTES

thermal insulation

thermal insulation must comply with as/nzs 4859.1 and be installed in accordance with part 3.12.1.1 of bca, v2

ceiling insulation compensation

ceiling insulation to be compensated for in accordance with bca 3.12.1.2(e) where the area of the required ceiling insulation is reduced for operational or safety reasons

walls separating dwellings

all separating walls to be constructed to meet the fire separation requirements of bca, v2, part 3.7.1 and the sound insulation requirements of bca, v2, part 3.8.6.

the separating walls must have an fri of not less than 60/60/60 and-

- (i) commence at the footings or ground slab (refer to figure 3.7.1.10 in bca, v2); and
- (ii) extend to the underside of the non combustible roof covering.

building sealing

the building must be sealed in accordance with bca 3.12.3.1 to bca 3.12.3.6

building services

building services must comply with bca 3.12.5.0 to bca 3.12.5.3

the separating wall-

- (i) must not be crossed by timber or other combustible building elements except for roof battens with dimensions of 75x50 mm or less, or roof sarking; and

- (ii) must have any gap between the top of the wall and the underside of the roof covering packed with mineral fibre or other suitable fire resisting material.

the separating walls must be constructed in accordance with part 3.7.1.8 of bca, v2 to achieve the required fire separation between adjoining dwellings

the separating walls must be constructed in accordance with part 3.8.6 of bca, v2 to achieve to sound insulation requirements

any wall ties used in the separating walls are to be of the resilient type party wall must not be chased for services

Floor wastes

floor wastes within all wet areas (bathrooms and laundries) and water proofing in accordance with AS3740.

Hand Rails

handrail to at least one side of the staircase extending for the full flight of the stair

ALL SMOKE ALARMS TO COMPLY WITH AS 3789 AND BCA 3.7.5.5 HARDWIRED TO THE CONSUMER POWER MAINS AND INTERCONNECTED TO EACHOTHER

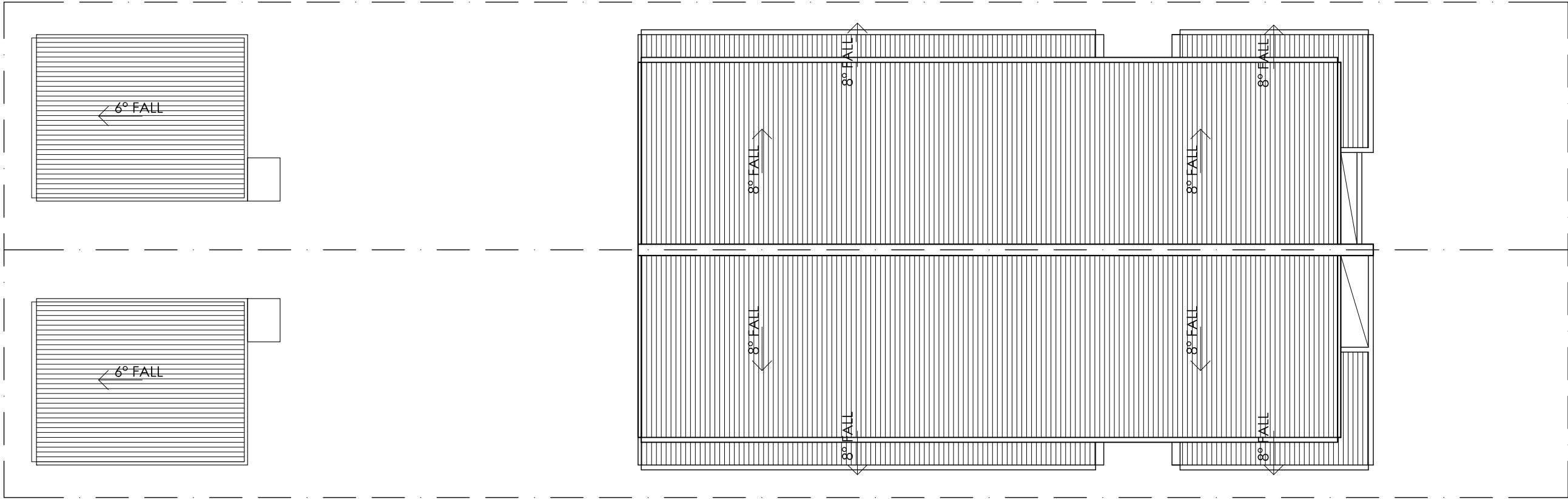
REFER TO BASIX CERTIFICATES FOR FURTHER DETAIL

ALL WORKS TO COMPLY WITH BCA & AUSTRALIAN STANDARDS

REFER TO LANDSCAPE PLAN FOR MORE DETAILS

REFER TO HYDRAULIC ENGINEER PLANS FOR FURTHER DETAILS

REFER TO STRUCTURAL ENGINEER PLANS FOR FURTHER DETAILS



ROOF PLAN

SCALE 1:200

Energy Rating Certificate Number 0005719965

single- dwelling rating ☐ 5.4 stars

multi-unit development (attach listing of ratings) ☒ 38.5 stars

Recessed daylighting confirmation: ☐ Related with cooling ☒ Related without cooling

Assessor Name/Number 10201 Assessor Signature [Signature] Date 03/09/2022

ALL WET AREAS TO BE STEPPED DOWN 50mm FROM FFL

NOTE:
1) Weather seals to all external doors and windows.
2) Foil Sisalation/sarking to under roof tiles
3) R4.0 Insulation to ceiling
4) R2.0 to all external brick walls

Private Open Space

1.8m High Colorbond fence

P.O.S 11000x7500 = 82.5 m² PER UNIT

Tree to be removed shown dotted

3000L RAINWATER TO BASIX REQ. AND ENGINEERS DETAILS

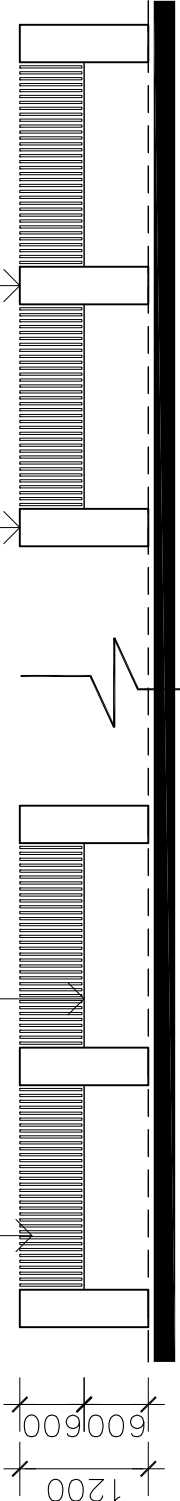
6 STARS GAS INSTANTANEOUS HOT WATER SYSTEM TO BASIX REQ.

AC UNIT Location

1.8m Gate

Floor Plan

1200mm height Brick Wall



Elevation

SCALE 1:100

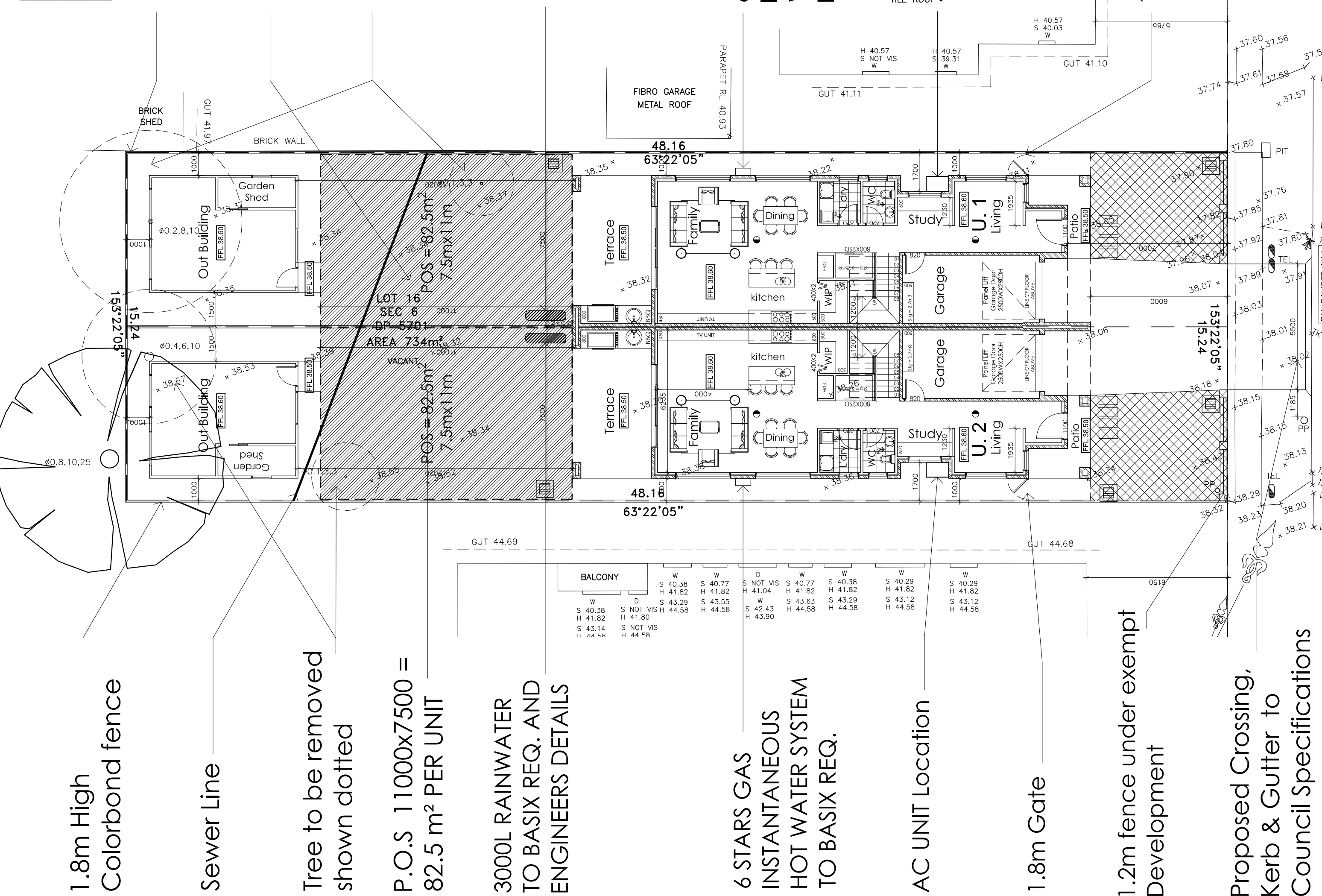
FRONT FENCE

NOTE:
-ALL BUILDING WORK AND CONSTRUCTION MATERIALS TO COMPLY WITH BUILDING CODE OF AUSTRALIA STANDARDS.

- SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH AS3786-2014. ALARMS ARE TO BE POSITIONED ON THE CEILING AND SETBACK A MINIMUM DISTANCE OF 300mm FROM ANY WALL.
- WET AREAS ARE TO BE WATERPROOFED IN ACCORDANCE WITH AS3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS
-ALL GLAZING TO COMPLY WITH AS1288- " GLASS IN BUILDING"

SITE PLAN

SCALE 1:200



MATTHEWS STREET

1.2m fence under exempt Development
Proposed Crossing, Kerb & Gutter to Council Specifications

1.8m Gate

AC UNIT Location

6 STARS GAS INSTANTANEOUS HOT WATER SYSTEM TO BASIX REQ.

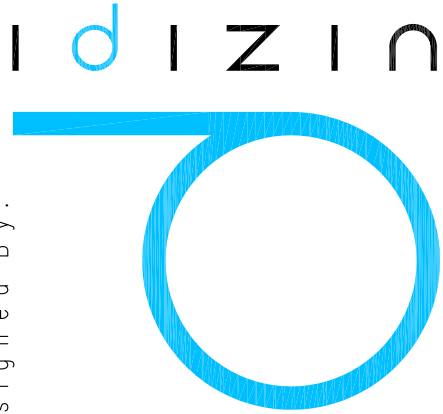
3000L RAINWATER TO BASIX REQ. AND ENGINEERS DETAILS

P.O.S 11000x7500 = 82.5 m² PER UNIT

Tree to be removed shown dotted

Sewer Line

1.8m High Colorbond fence



s y d n e y

Shop 3, 134-136 Woodville
Road, Merrylands 2160
P. 8677 9837
m. 0487 434946 (0487 idizin)
e. admin@idizin.com.au
PO BOX 604 MERRYLANDS NSW 2160
w w w . i d i z i n . c o m . a u

Full Chartered Member.



1. DO NOT SCALE FROM DRAWINGS. USE WRITTEN DIMENSIONS ONLY.
2. BUILDER TO CHECK & VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF WORK.
3. IT IS THE OWNERS RESPONSIBILITY TO ENSURE THAT THE ENGINEER HAS INVESTIGATED SUBSOIL CONDITIONS & DESIGNED ALL STRUCTURAL ELEMENTS TO SUIT.
4. THE DESIGN & DETAILS CONTAINED ON THIS DRAWING IS SUPPLIED IN CONFIDENCE & IS NOT TO BE USED FOR ANY OTHER PURPOSE, EXCEPT THAT AUTHORISED BY idizin sydney.

© COPYRIGHT 2022 idizin sydney

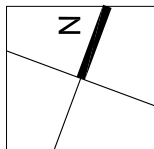


LEGENDS:

- SMOKE ALARMS TO AS3786

Issue	Amendment	Initials	CCte
A	Issued for DA Approval	A.T	14.11.22

Address:
LOT: 16 SEC: 6
DP: 5701
15 Matthews Street
Punchbowl, NSW



Project:
Tree Removal, Construction of 2
Storey attached Dual Occupancy
and outbuildings, Torrens Title
Subdivision and Front Fence

Title:
Front Hard/Soft Calculation and Floor Plans
Calculation sheet and Atticulation

Council:

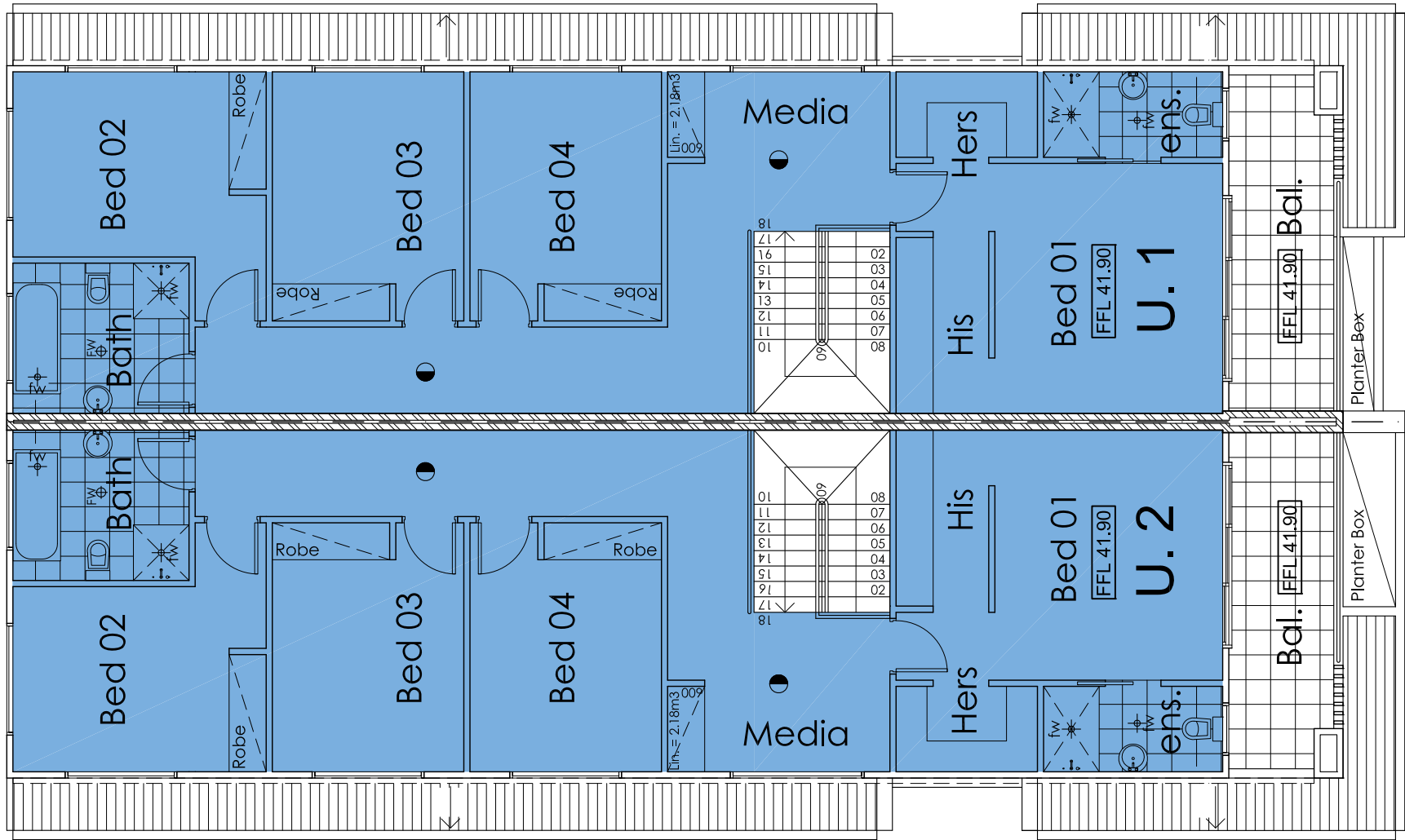
Canterbury Bankstown
Council

DA DRAWINGS

Drawn: 14.11.22
Date: 14.11.22
Project No: 34-2022

Checked: JK
Scale: 1:100 (A2)
Draw. No.

Sheet of 02
Issue A
DA-102

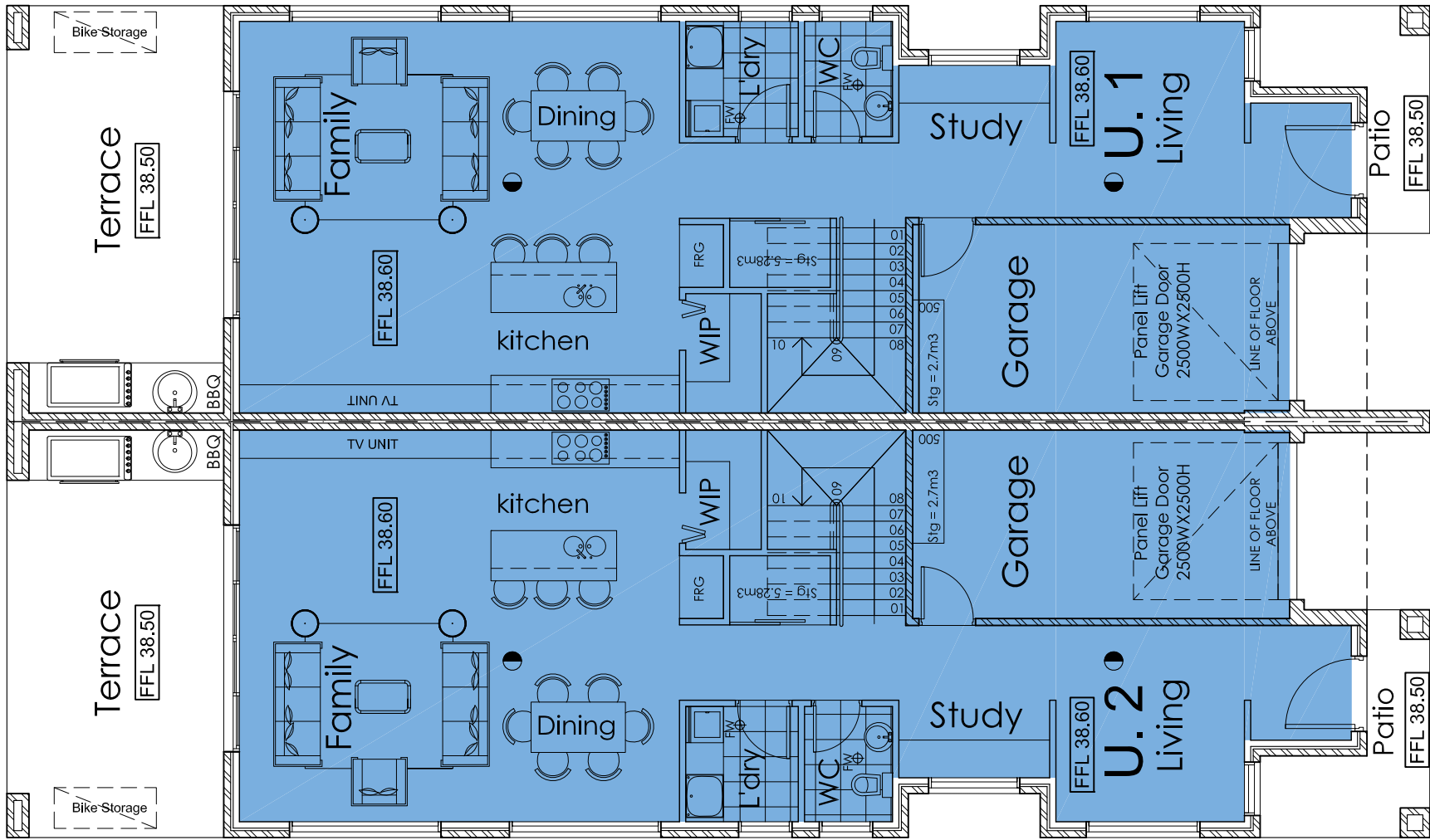


FIRST FLOOR

SCALE 1:100

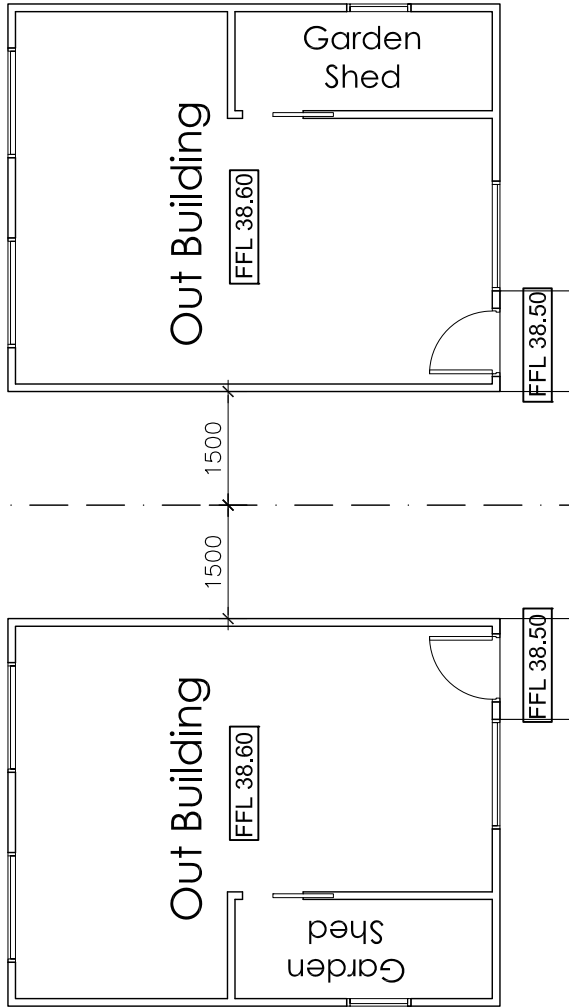
Calculations:
Site Area = 734 m²
Building Zone:
Site Area = 734 m²
Ground Floor Area Unit 1 = 85.2 m²
First Floor Area Unit 1 = 101.9 m²
Ground Floor Area Unit 2 = 85.2 m²
First Floor Area Unit 2 = 101.9 m²
Outbuilding Unit 1 = 30.9 m²
Outbuilding Unit 2 = 30.9 m²
Total Built Area = 436 m²
Required FSR: 0.9:1 = 660.6 m²
Proposed FSR = 0.594:1

Private Open Space:
Required = 80m² each unit
Proposed Unit 1 = 92 m²
Proposed Unit 2 = 92 m²



GROUND FLOOR

SCALE 1:100



OUT BUILDING GROUND FLOOR

SCALE 1:100

ALL MEASUREMENTS OF FLOOR AREA
ARE GROSS FLOOR AREA FROM
INSIDE OF EXTERNAL WALLS AND
EXCLUDES 1 CAR SPACE AND VOIDS

Energy Rating

Certificate Number: 0005170965

single-dwelling rating: **5.4** stars

multi-unit development (attach listing of ratings): heating: **38.5** stars, cooling: **25.5** stars

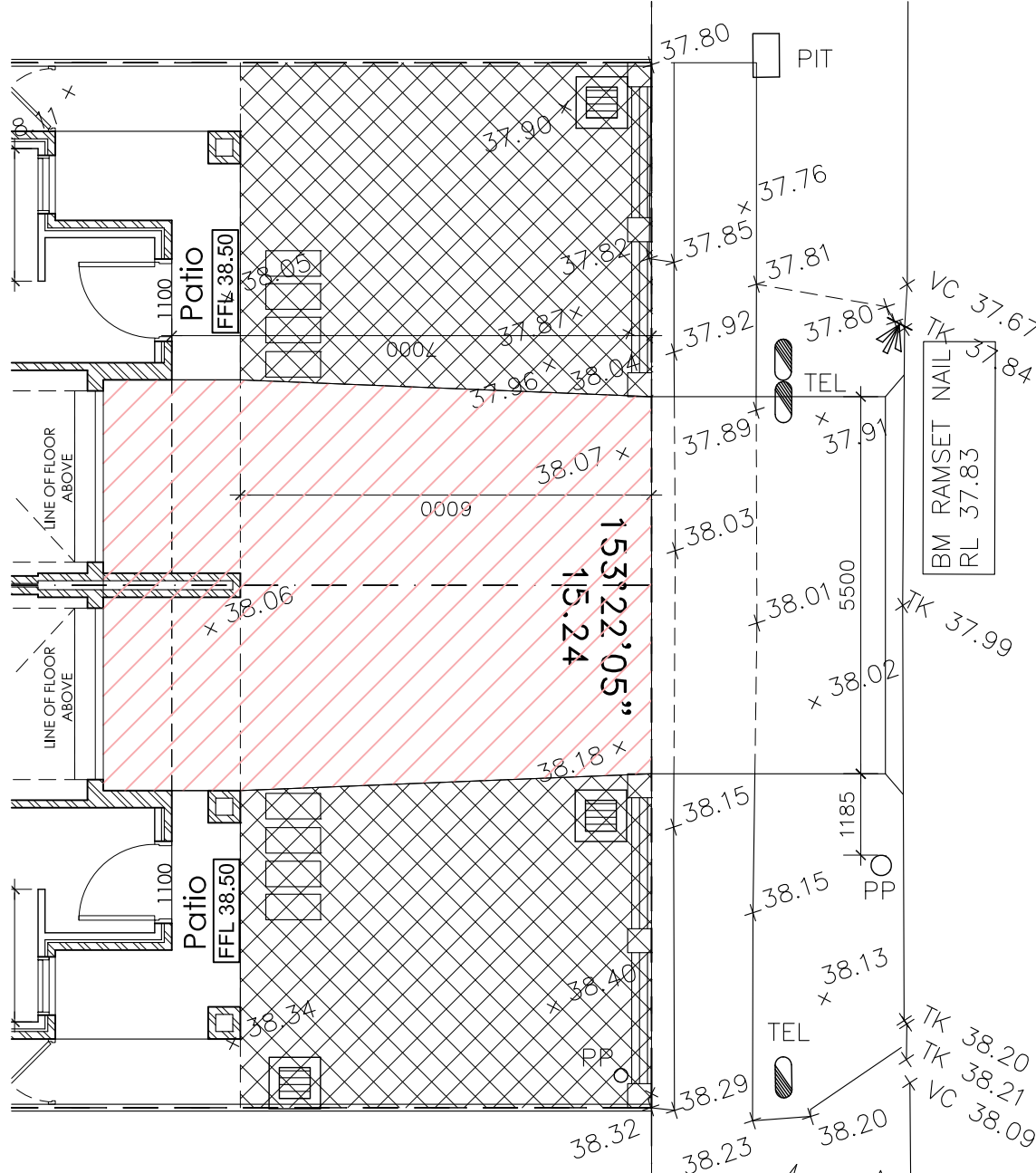
Recessed daylighting confirmation: ☐ Rated with, ☒ Rated without

Assessor Name/Number: 10261

Assessor Signature: _____

Date: 03/09/2022

- BCA General notes:**
- Mechanical Ventilation in accordance with Clause 3.8.5.2(c) of the NCC Volume Two 2019
 - Balustrades Installation in accordance with Clause 3.9.2.3 of the NCC Volume Two 2019
 - Protection of Operable Windows in accordance with Clause 3.9.2.6 of the NCC Volume Two 2019



MATTHEWS STREET

LEGEND:

Total front Area = 96.84 m²

Hard surface area = 39.84 m² = 41.15 %

Soft Soil Area = 57 m² = 58.85 %

FRONT HARD/SOFT CALCULATION

SCALE 1:100

ALL SMOKE ALARMS TO COMPLY WITH AS 3789 AND BCA 3.7.5.5 HARDWIRED TO THE CONSUMER POWER MAINS AND INTERCONNECTED TO EACH OTHER

ALL WET AREAS TO BE STEPPED DOWN 50mm FROM FFL

- NOTE:
- 1) Weather seals to all external doors and windows.
 - 2) Foil Slatation/sarking to under roof tiles
 - 3) R4.0 Insulation to ceiling
 - 4) R2.0 to all external brick walls

UNIT 1 & 2 total storage combined of 10 m³ as per design guidelines #49-50

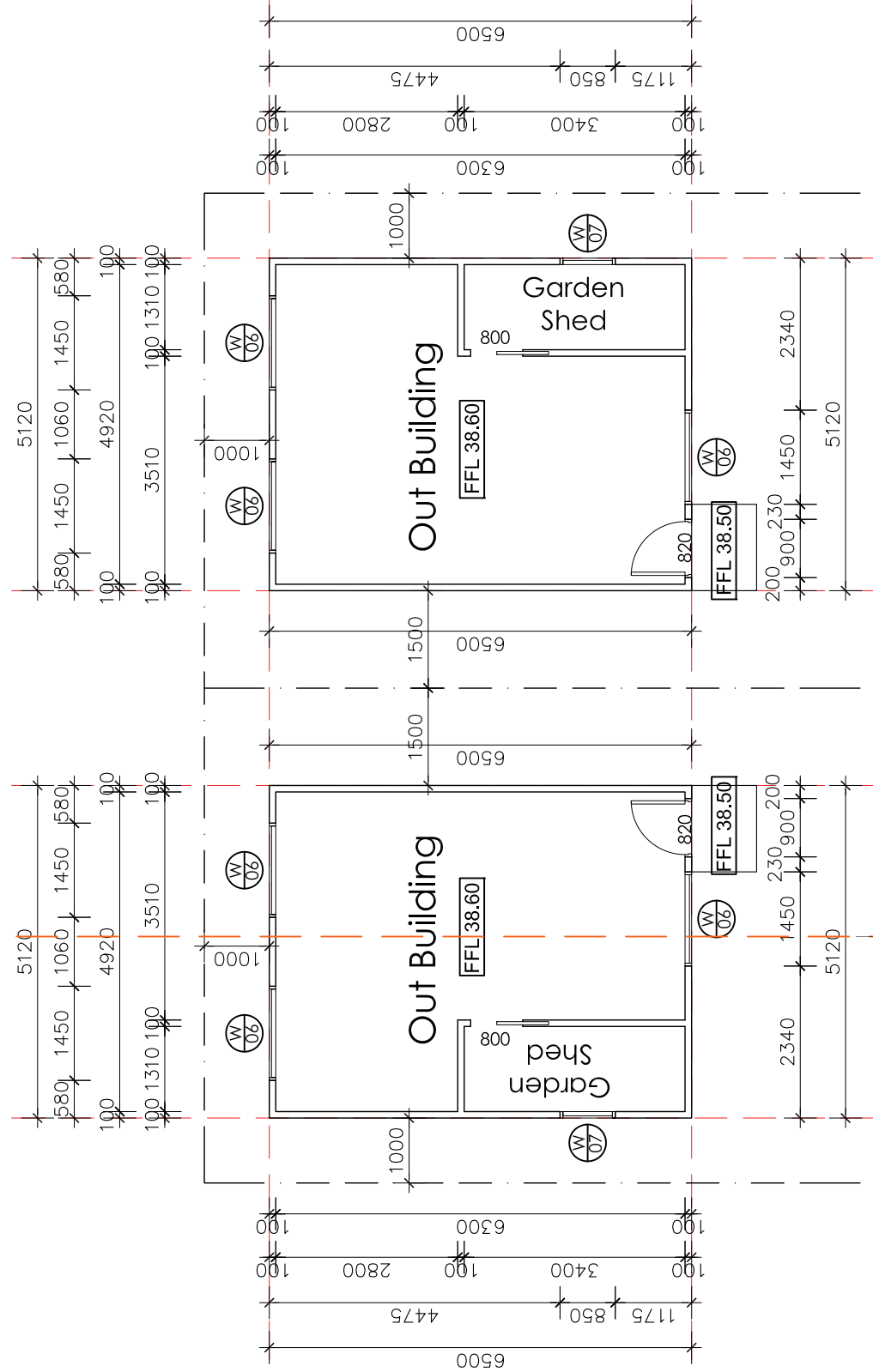
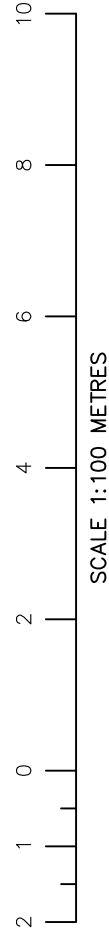
REFER TO BASIX CERTIFICATES FOR FURTHER DETAIL

ALL WORKS TO COMPLY WITH BCA & AUSTRALIAN STANDARDS REFER TO LANDSCAPE PLAN FOR MORE DETAILS

REFER TO HYDRAULIC ENGINEER PLANS FOR FURTHER DETAILS
REFER TO STRUCTURAL ENGINEER PLANS FOR FURTHER DETAILS

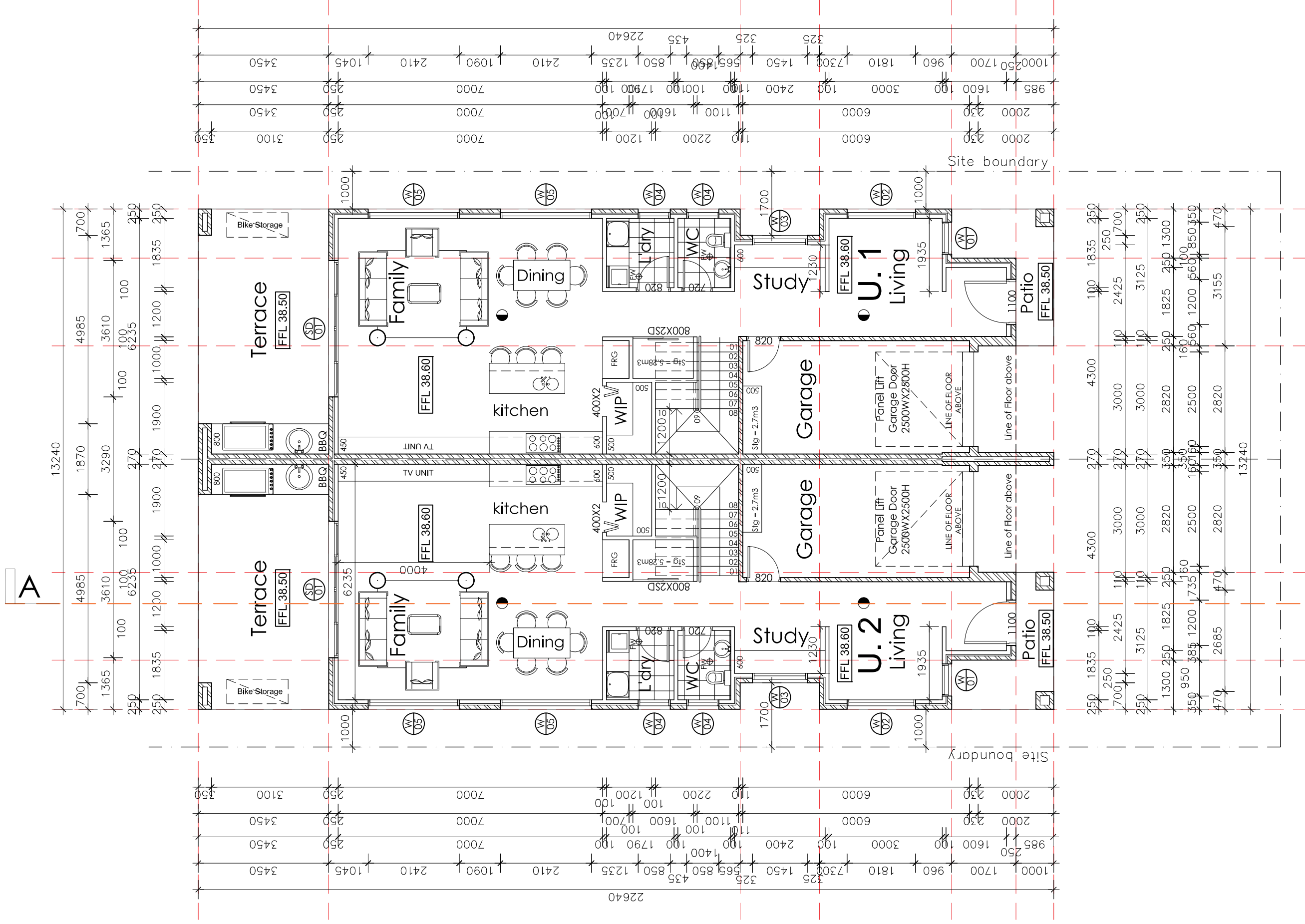
BCA General notes:

- Mechanical Ventilation in accordance with Clause 3.8.5.2(c) of the NCC Volume Two 2019
- Balustrades Installation in accordance with Clause 3.9.2.3 of the NCC Volume Two 2019
- Protection of Operable Windows in accordance with Clause 3.9.2.6 of the NCC Volume Two 2019



OUT BUILDING GROUND FLOOR

SCALE 1:100



GROUND FLOOR

SCALE 1:100

Designed By:



sydney

Shop 3, 134-136 Woodville Road, Merrylands 2160
P. 8677 9837

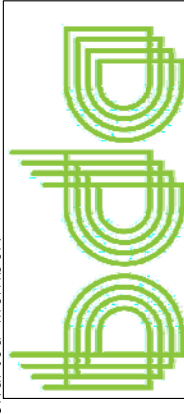
m. 0487 434946 (0487 idizin)

e. admin@idizin.com.au

PO BOX 604 MERRYLANDS NSW 2160

www.idizin.com.au

Full Chartered Member.



BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

1. DO NOT SCALE FROM DRAWINGS. USE WRITTEN DIMENSIONS ONLY.
2. BUILD TO CHECK & VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF WORK.
3. IT IS THE OWNERS RESPONSIBILITY TO ENSURE THAT THE ENGINEER HAS INVESTIGATED SUBSOIL CONDITIONS & DESIGNED ALL STRUCTURAL ELEMENTS TO SUIT.
4. THE DESIGN & DETAILS CONTAINED ON THIS DRAWING IS SUPPLIED IN CONFIDENCE & IS NOT TO BE USED FOR ANY OTHER PURPOSE, EXCEPT THAT AUTHORISED BY idizin sydney.

COPYRIGHT 2022
idizin sydney



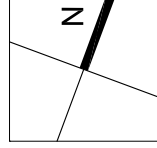
LEGENDS:

- SMOKE ALARMS TO AS3786

Issue	Amendment	Initials	CCte
A	Issued for DA Approval	A.T	14.11.22

Address:
LOT: 16 SEC: 6
DP: 5701

15 Matthews Street
Punchbowl, NSW



Project:

Tree Removal, Construction of 2 Storey attached Dual Occupancy and outbuildings, Torrens Title Subdivision and Front Fence

Title:

Ground Floor Plan

Council:

Canterbury Bankstown Council

DA DRAWINGS

Drawn: Date: Project No.

A.T 14.11.22 34-2022

Checked: Scale: Draw No.

J.K 1:100 (A2)

Sheet of Issue DA-201

03 09 A

BASIX NOTE: MULTI DWELLING
REFER TO BASIX REPORTS FOR
FURTHER DETAILS

COMMITMENTS FOR MULTI-DWELLING HOUSES

- (i) WATER
- b) THE APPLICANT MUST PLANT INDIGENOUS OR LOW WATER USE SPECIES OF VEGETATION THROUGHOUT THE AREA OF LAND SPECIFIED FOR THE DWELLING IN THE "INDIGENOUS SPECIES" COLUMN OF THE TABLE BELOW, AS PRIVATE LANDSCAPING FOR THAT DWELLING. (THIS AREA OF INDIGENOUS VEGETATION IS TO BE CONTAINED WITHIN THE "AREA OF GARDEN" AND "LAWN" FOR THE DWELLING SPECIFIED IN THE "DESCRIPTION OF PROJECT" TABLE).
- (e) THE APPLICANT MUST NOT INSTALL A PRIVATE SWIMMING POOL OR SPA FOR THE DWELLING, WITH A VOLUME EXCEEDING THAT SPECIFIED FOR IT IN THE TABLE BELOW.

- (g) THE POOL OR SPA MUST BE LOCATED AS SPECIFIED IN THE TABLE.
- (h) THE APPLICANT MUST INSTALL, FOR THE DWELLING, EACH ALTERNATIVE WATER SUPPLY SYSTEM, WITH THE SPECIFIED SIZE, LISTED FOR THAT DWELLING IN THE TABLE BELOW. EACH SYSTEM MUST BE CONFIGURED TO COLLECT RUN-OFF FROM THE AREAS SPECIFIED, AS ANY EXCLUDING ANY AREA WHICH SUPPLIES ANY OTHER ALTERNATIVE WATER SUPPLY SYSTEM, AND TO DIVERT OVERFLOW AS SPECIFIED. EACH SYSTEM MUST BE CONNECTED AS SPECIFIED, EACH ENERGY.

- (i) ENERGY
- (b) THE APPLICANT MUST INSTALL EACH HOT WATER SYSTEM SPECIFIED FOR THE DWELLINGS IN THE TABLE BELOW, SO THAT THE DWELLINGS HOT WATER IS SUPPLIED BY THAT SYSTEM. IF THE TABLE SPECIFIES A CENTRAL HOT WATER SYSTEM FOR THE DWELLING, THEN THE APPLICANT MUST CONNECT THAT CENTRAL SYSTEM TO THE DWELLING, SO THAT THE DWELLING'S HOT WATER IS SUPPLIED BY THAT CENTRAL SYSTEM.

- (f) THIS COMMITMENT APPLIES TO EACH ROOM OR AREA OF THE DWELLING WHICH IS REFERRED TO IN A HEADING TO THE "NATURAL LIGHTING" COLUMN OF THE TABLE BELOW (BUT ONLY TO THE EXTENT SPECIFIED FOR THAT ROOM OR AREA). THE APPLICANT MUST ENSURE THAT EACH SUCH ROOM OR AREA IS FITTED WITH A WINDOW AND/OR SKYLIGHT.
- (i) THE APPLICANT MUST INSTALL THE PHOTOVOLTAIC SYSTEM SPECIFIED FOR THE DWELLING UNDER THE "PHOTOVOLTAIC DWELLING" HEADING OF THE "ALTERNATIVE ENERGY" COLUMN OF THE TABLE BELOW, AND CONNECT THE SYSTEM TO THAT DWELLING'S ELECTRICAL SYSTEM.

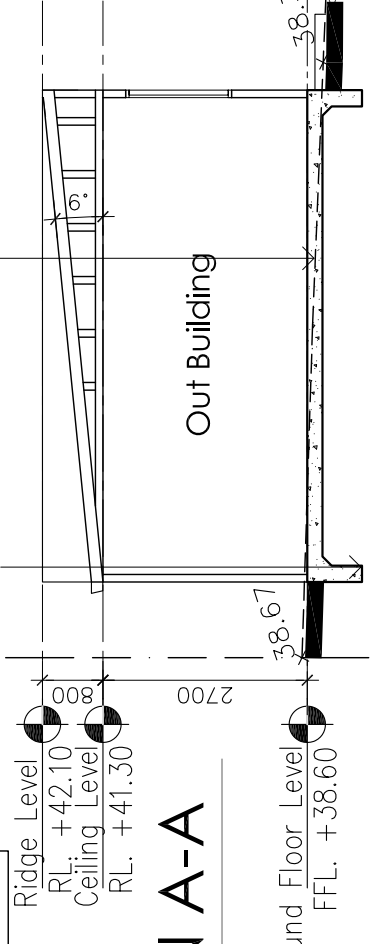
ALL SMOKE ALARMS TO COMPLY WITH AS 3789 AND BCA 3.7.5.5 HARDWIRED TO THE CONSUMER POWER MAINS AND INTERCONNECTED TO EACH OTHER

ALL WET AREAS TO BE STEPPED DOWN 50mm FROM FFL

- NOTE:
- 1) Weather seals to all external doors and windows.
- 2) Fall Staircase/sarking to under roof tiles
- 3) R4.0 Insulation to ceiling
- 4) R2.0 to all external brick walls

- BCA General notes:
- Mechanical Ventilation in accordance with Clause 3.8.5.2(c) of the NCC Volume Two 2019 Balustrades Installation in accordance with Clause 3.9.2.3 of the NCC Volume Two 2019 Protection of Operable Windows in accordance with Clause 3.9.2.6 of the NCC Volume Two 2019

SECTION A-A
SCALE 1:100



R4.0 insulation to all ceilings of roof space

Timber Roof Trusses @ 600 CTS Manufact Details

Timber floor joists at 600mm Clearance to AS standards to all first floor

R 2.0 to 250 Brick veneer External Walls

Waterproofing membrane to underside of slab

Rein. Conc. Footing to Eng. Detail

Out Building

DWELLING NO.	AREA ADJUSTED HEATING LOAD (in m ² /yr)	AREA ADJUSTED COOLING LOAD (in m ² /yr)
U1	38.0	26.0
ALL OTHER DWELLINGS	38.0	25.0

3. COMMITMENTS FOR COMMON AREAS AND CENTRAL SYSTEMS/FACILITIES FOR THE DEVELOPMENT (NON-BUILDING SPECIFIC)
- (B) COMMON AREAS AND CENTRAL SYSTEMS/FACILITIES

- (i) WATER
- (b) THE APPLICANT MUST INSTALL (OR ENSURE THAT THE DEVELOPMENT IS SERVICED BY) THE ALTERNATIVE WATER SUPPLY SYSTEM(S) SPECIFIED IN THE "CENTRAL SYSTEMS" COLUMN OF THE TABLE BELOW. IN EACH CASE, THE SYSTEM MUST BE SIZED, BE CONFIGURED, AND BE CONNECTED, AS SPECIFIED IN THE TABLE.
- (c) A SWIMMING POOL OR SPA LISTED IN THE TABLE MUST NOT HAVE A VOLUME (IN KLS) GREATER THAN THAT SPECIFIED FOR THE POOL OR SPA IN THE TABLE.

COMMON AREA	SHOWERHEADS RATING	TOILETS RATING	TAPS RATING	CLOTHES WASHERS RATING
all common areas	no common facility	no common facility	no common facility	no common laundry facility

- (ii) ENERGY
- (c) THE APPLICANT MUST INSTALL THE SYSTEMS AND FIXTURES SPECIFIED IN THE "CENTRAL ENERGY SYSTEMS" COLUMN OF THE TABLE BELOW. IN EACH CASE, THE SYSTEM OR FIXTURE MUST BE OF THE TYPE AND MEET THE SPECIFICATIONS, LISTED FOR IT IN THE TABLE.

single-dwelling rating

multi-unit development (attach listing of ratings)

Recessed downlights confirmation:

Assessor Name/Number

Assessor Signature

Date

Certificate Number

5.4 stars

heating

cooling

Rated without

REFER TO BASIX CERTIFICATES FOR FURTHER DETAIL

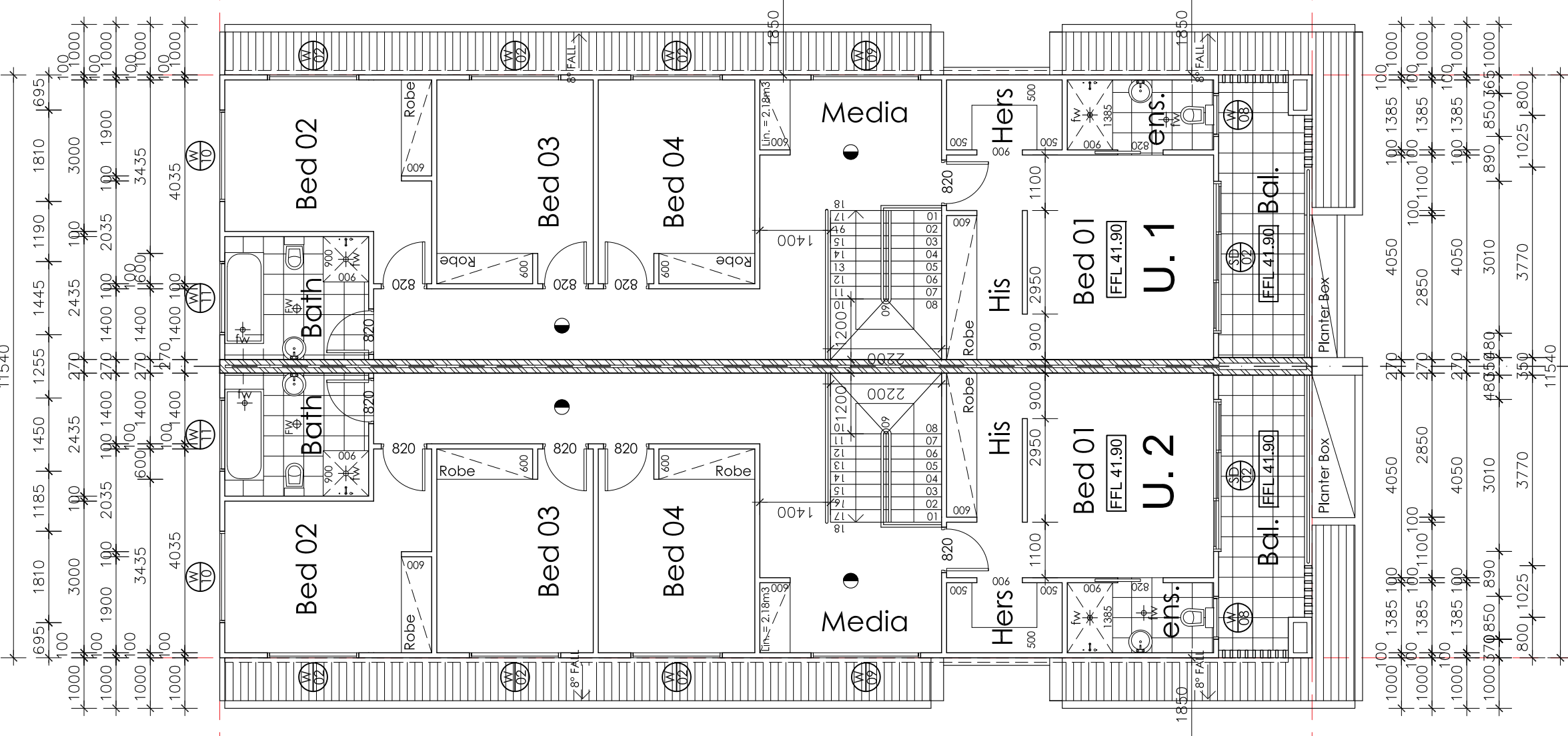
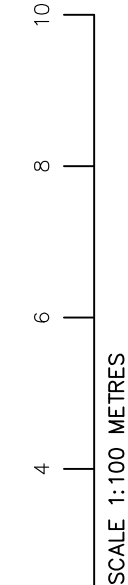
ALL WORKS TO COMPLY WITH BCA & AUSTRALIAN STANDARDS REFER TO LANDSCAPE PLAN FOR MORE DETAILS

REFER TO HYDRAULIC ENGINEER PLANS FOR FURTHER DETAILS

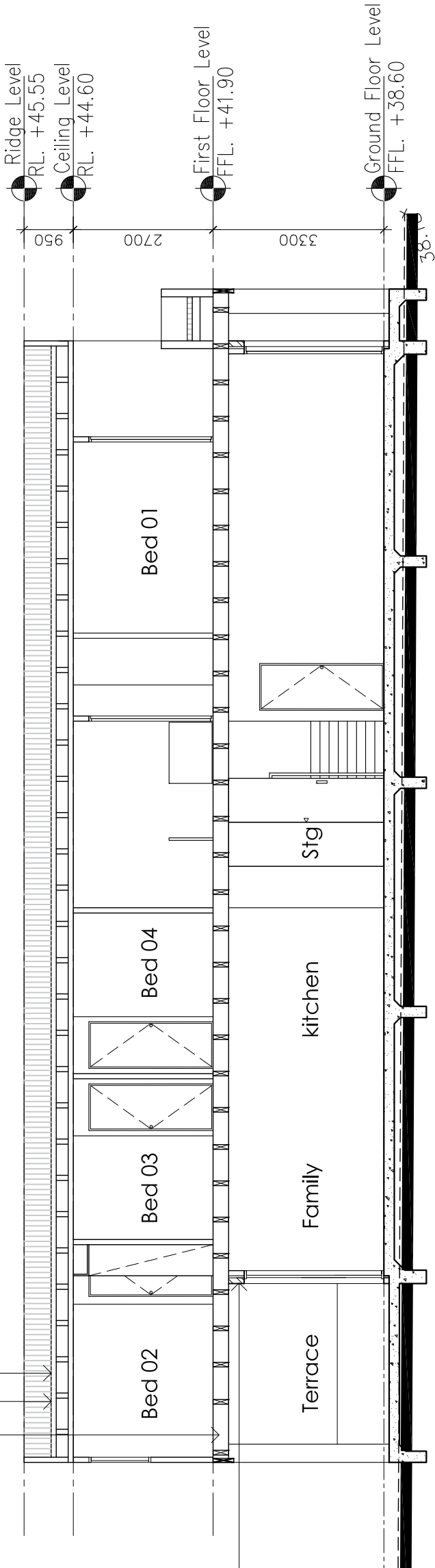
REFER TO STRUCTURAL ENGINEER PLANS FOR FURTHER DETAILS

THERMAL COMFORT

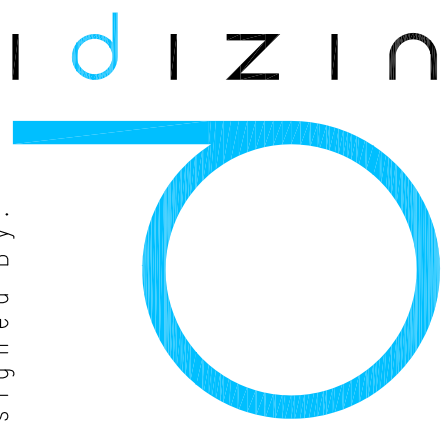
- (d) THE APPLICANT MUST SHOW ON THE PLANS ACCOMPANYING THE DEVELOPMENT APPLICATION FOR THE PROPOSED DEVELOPMENT, ALL MATTERS WHICH THE THERMAL COMFORT PROTOCOL REQUIRES TO BE SHOWN ON THOSE PLANS. THOSE PLANS MUST BEAR A STAMP OF ENDORSEMENT FROM THE ACCREDITED ASSESSOR, TO CERTIFY THAT THIS IS THE CASE.
- (g) WHERE THERE IS AN IN-SLAB HEATING OR COOLING SYSTEM, THE APPLICANT MUST:
- (aa) INSTALL INSULATION WITH AN R-VALUE OF NOT LESS THAN 1.0 AROUND THE VERTICAL EDGES OF THE PERIMETER OF THE SLAB; OR
- (bb) ON A SUSPENDED FLOOR, INSTALL INSULATION WITH AN R-VALUE OF NOT LESS THAN 1.0 UNDERNEATH THE SLAB AND AROUND THE VERTICAL EDGES OF THE PERIMETER OF THE SLAB.
- (h) THE APPLICANT MUST CONSTRUCT THE FLOORS AND WALLS OF THE DEVELOPMENT IN ACCORDANCE WITH THE SPECIFICATIONS LISTED IN THE TABLE BELOW.



FIRST FLOOR
SCALE 1:100



Designed By:



s y d n e y
Shop 3, 134-136 Woodville Road, Merrylands 2160
P. 8677 9837
m. 0487 434946 (0487 idizin)
e. admin@idizin.com.au
PO BOX 604 MERRYLANDS NSW 2160
w w w . i d i z i n . c o m . a u

Full Chartered Member.



1. DO NOT SCALE FROM DRAWINGS. USE WRITTEN DIMENSIONS ONLY.
2. BUILDER TO CHECK & VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF WORK.
3. IT IS THE OWNERS RESPONSIBILITY TO ENSURE THAT THE ENGINEER HAS INVESTIGATED SUBSOIL CONDITIONS & DESIGNED ALL STRUCTURAL ELEMENTS TO SUIT.
4. THE DESIGN & DETAILS CONTAINED ON THIS DRAWING IS SUPPLIED IN CONFIDENCE & IS NOT TO BE USED FOR ANY OTHER PURPOSE, EXCEPT THAT AUTHORISED BY idizin sydney.
- © COPYRIGHT 2022 idizin sydney



LEGENDS:

- SMOKE ALARMS TO AS3786

Issue	Amendment	Initials	C/Cte
A	Issued for DA Approval	A.T	14.11.22

Address:

LOT: 16 SEC: 6

DP: 5701

15 Matthews Street

Punchbowl, NSW

Project:

Tree Removal, Construction of 2 Storey attached Dual Occupancy and outbuildings, Torrens Title Subdivision and Front Fence

Title:

First Floor Plan, Section and BASIX

Council:

Canterbury Bankstown Council

DA DRAWINGS

Drawn: A.T

Date: 14.11.22

Project No: 34-2022

Checked: A.T

Scale: 1:100 (A2)

Draw No: DA-202

Sheet of 09

Issue A



s y d n e y
Shop 3, 134-136 Woodville
Road, Merrylands 2160
P. 8677 9837
m. 0487 434946 (0487 idizin)
e. admin@idizin.com.au
PO BOX 604 MERRYLANDS NSW 2160
w w w . i d i z i n . c o m . a u

Full Chartered Member.



1. DO NOT SCALE FROM DRAWINGS. USE WRITTEN DIMENSIONS ONLY.
2. BUILDER TO CHECK & VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF WORK.
3. IT IS THE OWNERS RESPONSIBILITY TO ENSURE THAT THE ENGINEER HAS INVESTIGATED SUBSOIL CONDITIONS & DESIGNED ALL STRUCTURAL ELEMENTS TO SUIT.
4. THE DESIGN & DETAILS CONTAINED ON THIS DRAWING IS SUPPLIED IN CONFIDENCE & IS NOT TO BE USED FOR ANY OTHER PURPOSE, EXCEPT THAT AUTHORISED BY idizin sydney.

© COPYRIGHT 2022 idizin sydney



LEGENDS:

- SMOKE ALARMS TO AS3786

Issue	Amendment	Initials	CCte
A	Issued for DA Approval	A.T	14.11.22

A d d r e s s :
LOT: 16 SEC: 6
DP: 5701
15 Matthews Street
Punchbowl, NSW

P r o j e c t :
Tree Removal, Construction of 2
Storey attached Dual Occupancy
and outbuildings, Torrens Title
Subdivision and Front Fence

T i t l e :
Elevations

C o u n c i l :
Canterbury Bankstown
Council

DA DRAWINGS	Project No.	34-2022
Drawn:	Date:	14.11.22
AT		
Checked:	Scale:	1:100 (A2)
JK		
Sheet	of	Issue
05	09	A
		Draw. No.
		DA-301

Colorbond fascia, gutter,
roof and downpipes
as selected

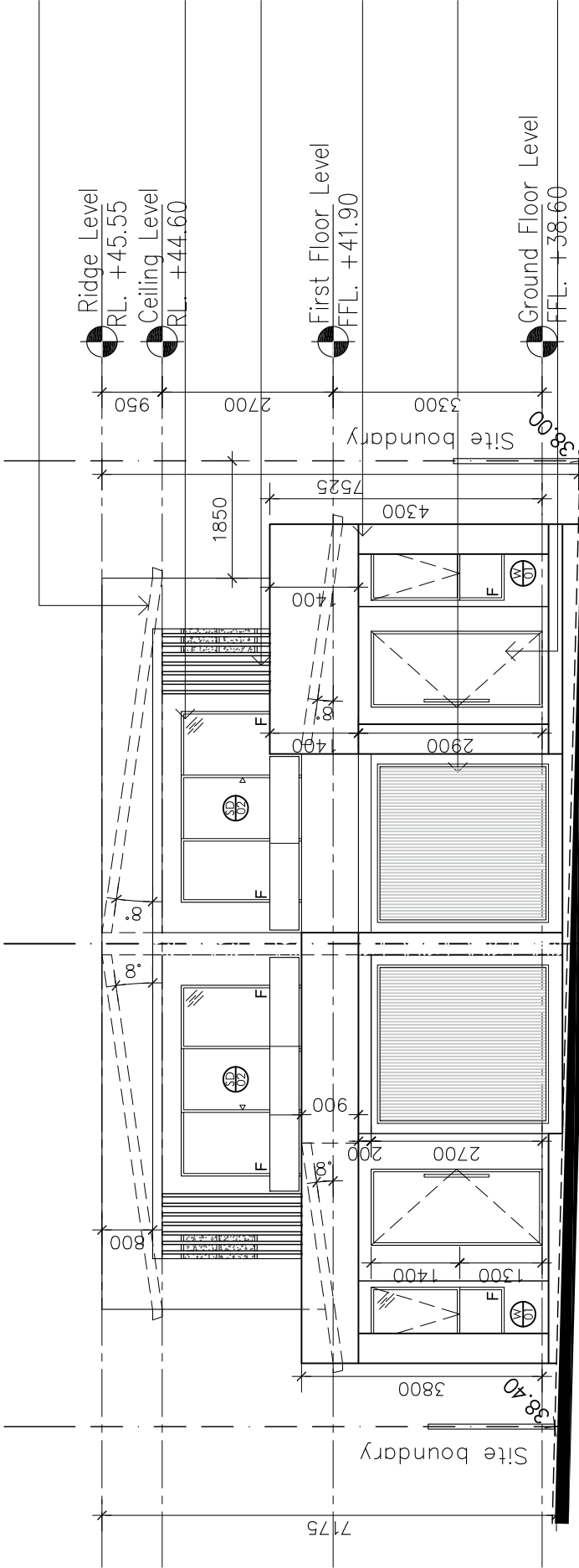
Aluminium windows and
sliding doors as selected

Aluminium Privacy
Screens as selected

Render and paint finish as
selected

2500Hx2500W Panel Lift
Garage Door

Solid entry door
as selected



unit 2

unit 1

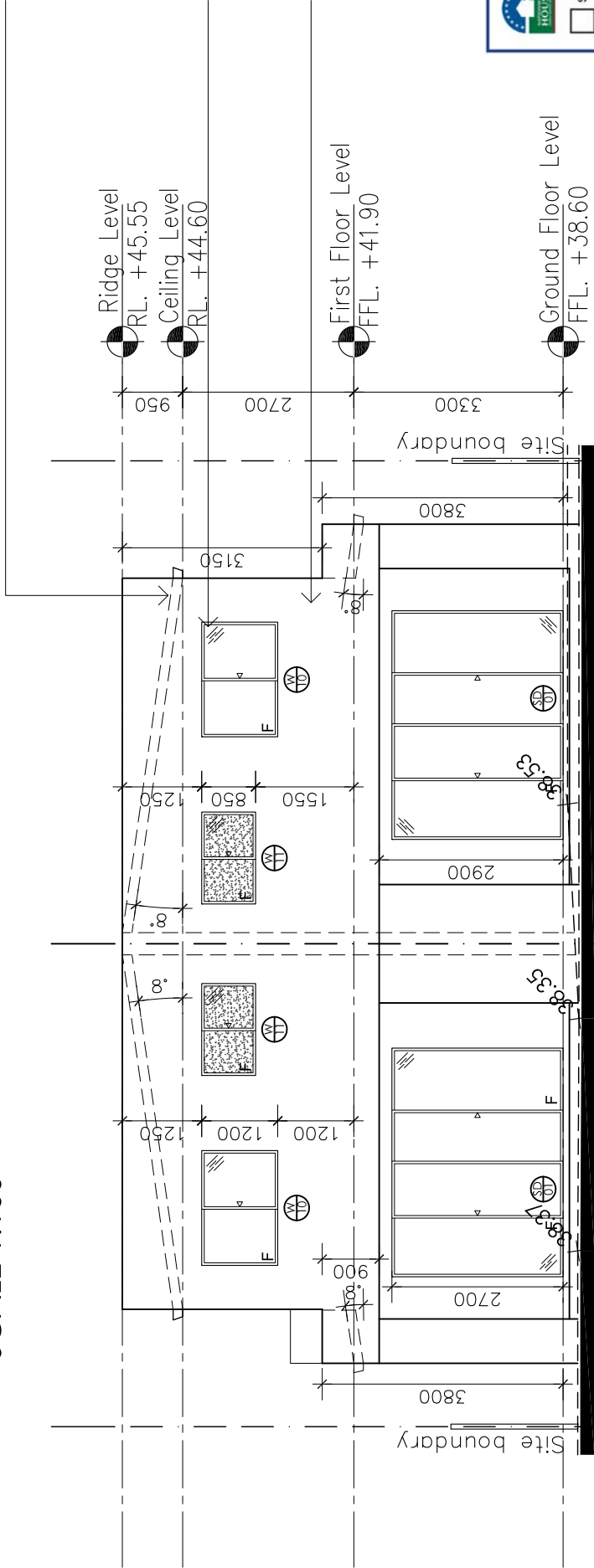
EAST ELEVATION

SCALE 1:100

Colorbond fascia, gutter,
roof and downpipes
as selected

Aluminium windows and
sliding doors as selected

Render and paint finish as
selected



unit 1

unit 2

WEST ELEVATION

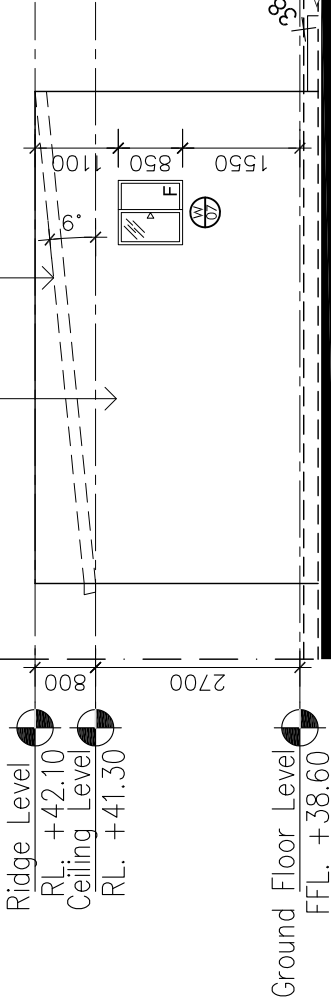
SCALE 1:100

Colorbond fascia, gutter,
roof and downpipes
as selected

Render and paint finish as
selected

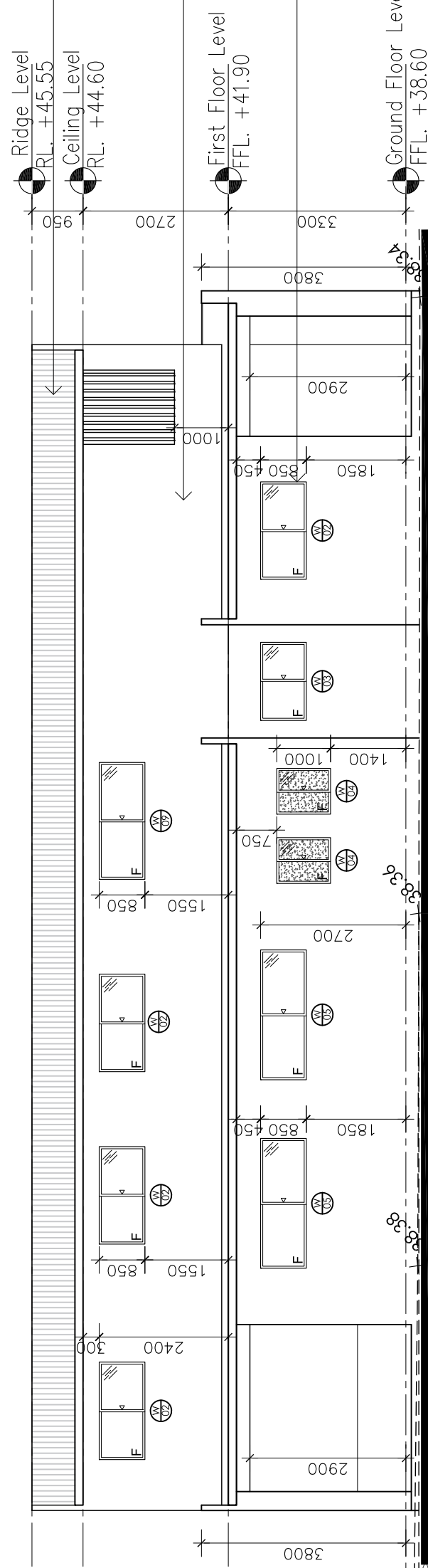
Colorbond fascia, gutter,
roof and downpipes
as selected

Render and paint finish as
selected



Render and paint finish as
selected

Aluminium windows and
sliding doors as selected



unit 2

SOUTH ELEVATION

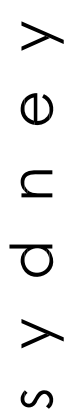
SCALE 1:100

ALL WET AREAS TO BE
STEPPED DOWN 50mm
FROM FFL

ALL SMOKE ALARMS TO
COMPLY WITH AS 3789 AND
BCA 3.7.5.5 HARDWIRED TO
THE CONSUMER POWER MAINS
AND INTERCONNECTED
TO EACH OTHER

NOTE:
1) Weather seals to all external
doors and windows.
2) Fall Sislalion/sarking to
under roof tiles
3) R4.0 Insulation to ceiling
4) R2.0 to all external brick walls

REFER TO COLOR SCHEDULE FOR
ALL WALL FINISHES AND PAINT

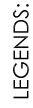


Full Chartered Member:



1. DO NOT SCALE FROM DRAWINGS. USE WRITTEN DIMENSIONS ONLY.
2. BUILDER TO CHECK & VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF WORK.
3. IT IS THE OWNER'S RESPONSIBILITY TO ENSURE THAT THE ENGINEER HAS INVESTIGATED ALL SUBSOIL CONDITIONS & DESIGNED ALL STRUCTURAL ELEMENTS TO SUIT.
4. THE DESIGN & DETAILS CONTAINED ON THIS DRAWING IS SUPPLIED IN CONFIDENCE & IS NOT TO BE USED FOR ANY OTHER PURPOSE EXCEPT THAT AUTHORISED BY idtcm sydney.

© COPYRIGHT 2021
idizin sydney

[illegible]

Project:

Title: Elevations

DA DRAWINGS

Drawn:	Date:	Project No.
--------	-------	-------------

Checked: _____ Scale: _____
J.K 1:100 (A2)
Sheet of _____ Draw. No. _____
DA 303



□ NORTH ELEVATION

Colorbond fascia, gutter, roof and downpipes as selected

Aluminium windows and sliding doors as selected

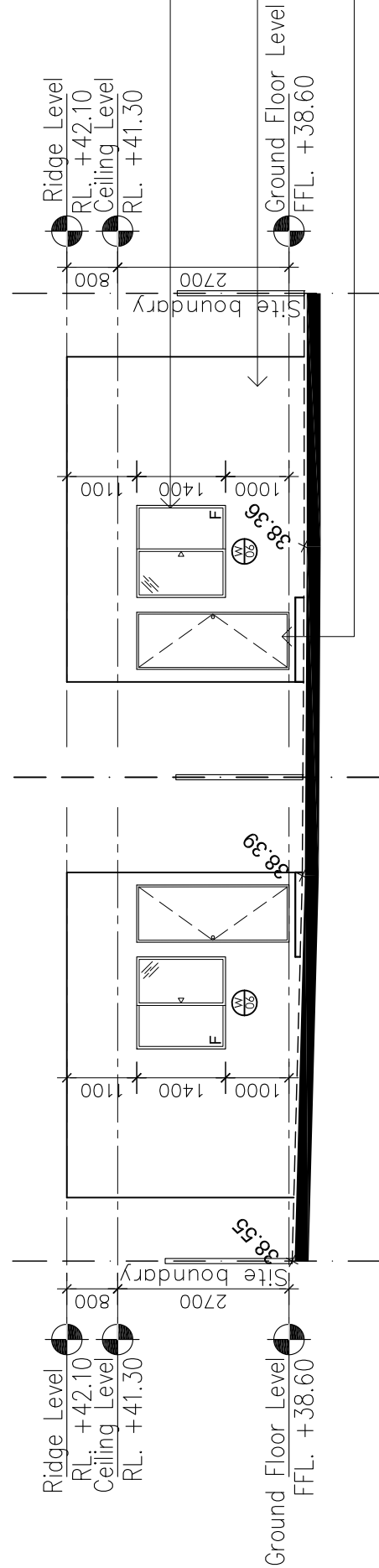
Render and paint finish as selected

OUT BUILDING WEST ELEVATION

Aluminium windows and sliding doors as selected

Render and paint finish as selected

Solid entry door as selected



OUT BUILDING EAST ELEVATION

2.1P Acoustic Privacy Objectives

Noise transfer is minimised through the siting of buildings and building layout.

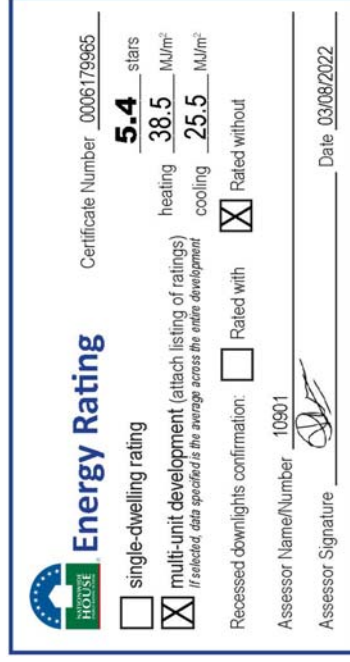
56. Electrical, mechanical, hydraulic and air conditioning equipment is housed so that it does not create an 'offensive noise' as defined in the Protection of the Environment Operations Act 1997 either within or at the boundaries of any property at any time of the day.

- Mechanical Ventilation in accordance with Clause 3.8.5.2(c) of the NCC Volume Two 2019
- Balustrades Installation in accordance with Clause 3.9.2.3 of the NCC Volume Two 2019
- Protection of Operable Windows in accordance with Clause 3.9.2.6 of the NCC Volume Two 2019

NOTE: ALL BUILDING WORK AND CONSTRUCTION MATERIALS TO COMPLY WITH BUILDING CODE OF AUSTRALIA STANDARDS.

NOTE:

- SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH AS3786-2014. ALARMS ARE TO BE POSITIONED ON THE CEILING AND SETBACK A MINIMUM DISTANCE OF 300mm FROM ANY WALL.
- WET AREAS ARE TO BE WATERPROOFED IN ACCORDANCE WITH AS3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS
- ALL GLAZING TO COMPLY WITH AS1288- " GLASS IN BUILDING"

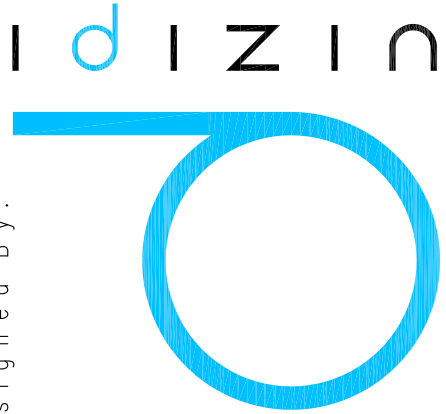


NOTE:

- 1) Weather seals to all external doors and windows.
- 2) Foil Sisalation/sarking to under roof tiles
- 3) R4.0 Insulation to ceiling
- 4) R2.0 to all external brick walls

ALL SMOKE ALARMS TO
COMPLY WITH AS 3789 AND
BCA 3.7.5.5 HARDWIRED TO
THE CONSUMER POWER MAINS
AND INTERCONNECTED
TO EACH OTHER

ALL WET AREAS TO BE
STEPPED DOWN 50mm
FROM FFL



s y d n e y

Shop 3, 134-136 Woodville
Road, Merrylands 2160
P. 8677 9837
m. 0487 434946 (0487 idizin)
e. admin@idizin.com.au
PO BOX 604 MERRYLANDS NSW 2160
w w w . i d i z i n . c o m . a u

Full Chartered Member.



**BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA**

1. DO NOT SCALE FROM DRAWINGS. USE WRITTEN DIMENSIONS ONLY.
2. BUILDER TO CHECK & VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF WORK.
3. IT IS THE OWNERS RESPONSIBILITY TO ENSURE THAT THE ENGINEER HAS INVESTIGATED SUBSOIL CONDITIONS & DESIGNED ALL STRUCTURAL ELEMENTS TO SUIT.
4. THE DESIGN & DETAILS CONTAINED ON THIS DRAWING IS SUPPLIED IN CONFIDENCE & IS NOT TO BE USED FOR ANY OTHER PURPOSE, EXCEPT THAT AUTHORISED BY idizin sydney.

© COPYRIGHT 2022
idizin sydney

www.dialbeforeyoudig.com.au

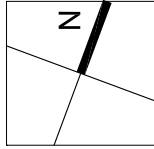


LEGENDS:

- SMOKE ALARMS TO AS3786

Issue	Amendment	Initials	CCte
A	Issued for DA Approval	A.T	14.11.22

A d d r e s s :
LOT: 16 SEC: 6
DP: 5701
15 Matthews Street
Punchbowl, NSW



P r o j e c t :

Tree Removal, Construction of 2
Storey attached Dual Occupancy
and outbuildings, Torrens Title
Subdivision and Front Fence

T i t l e :

Site Analysis Sedimentation and Waste
Management Plan and Sub-Division Plan

C o u n c i l :

Canterbury Bankstown
Council

D A D R A W I N G S

D r a w n : D a t e : P r o j e c t N o .

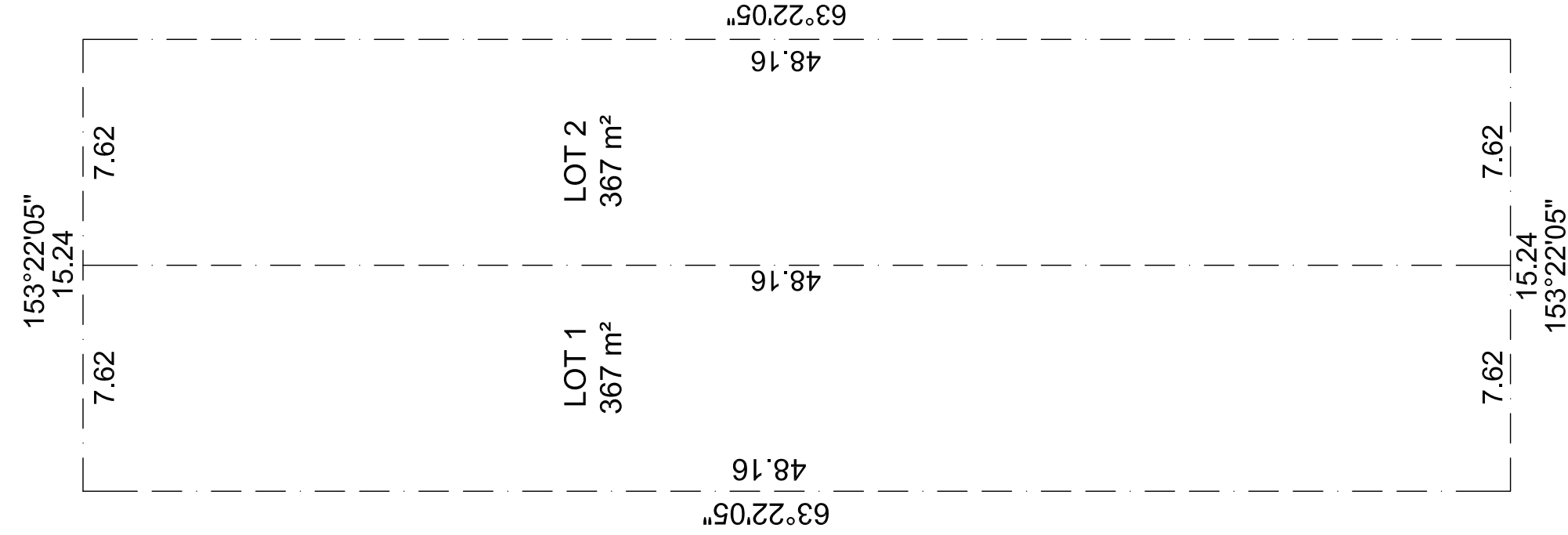
A.T 14.11.22 34-2022

C h e c k e d : S c a l e :

J.K 1:200 (A2) D r a w . N o .

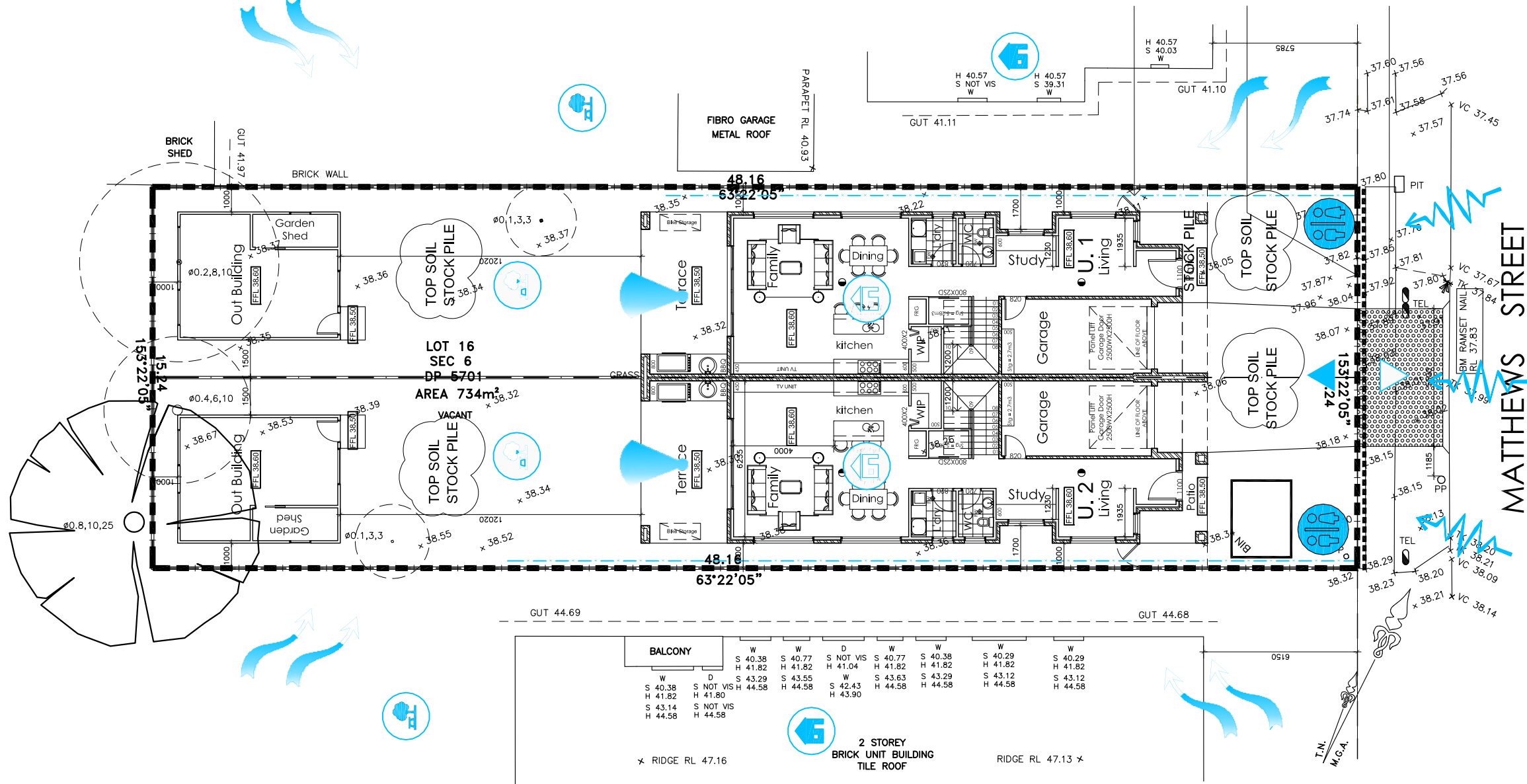
S h e e t o f I s s u e A

07 09 DA-401



SUB-DIVISION PLAN

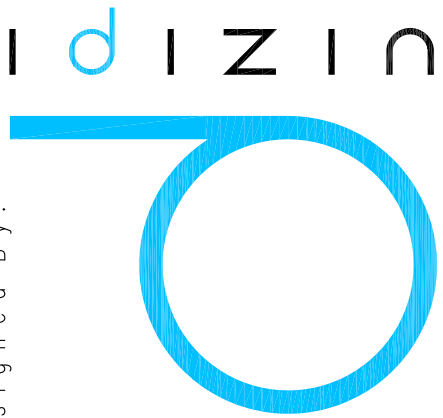
SCALE 1:200



SITE ANALYSIS, SEDIMENTATION AND WASTE MANAGEMENT PLAN

SCALE 1:200





s y d n e y

Shop 3, 134-136 Woodville
Road, Merrylands 2160
P. 8677 9837
m. 0487 434946 (0487 idizin)
e. admin@idizin.com.au
PO BOX 604 MERRYLANDS NSW 2160
w w w . i d i z i n . c o m . a u

Full Chartered Member.



1. DO NOT SCALE FROM DRAWINGS. USE WRITTEN DIMENSIONS ONLY.
2. BUILDER TO CHECK & VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF WORK.
3. IT IS THE OWNERS RESPONSIBILITY TO ENSURE THAT THE ENGINEER HAS INVESTIGATED SUBSOIL CONDITIONS & DESIGNED ALL STRUCTURAL ELEMENTS TO SUIT.
4. THE DESIGN & DETAILS CONTAINED ON THIS DRAWING IS SUPPLIED IN CONFIDENCE & IS NOT TO BE USED FOR ANY OTHER PURPOSE, EXCEPT THAT AUTHORISED BY idizin sydney.

© COPYRIGHT 2022
idizin sydney



LEGENDS:

- SMOKE ALARMS TO AS3786

Issue	Amendment	Initials	CCte
A	Issued for DA Approval	A.T	14.11.22

Address :
LOT: 16 SEC: 6
DP: 5701
15 Matthews Street
Punchbowl, NSW

Project:
Tree Removal, Construction of 2
Storey attached Dual Occupancy
and outbuildings, Torrens Title
Subdivision and Front Fence

Title:
Shadow Diagram at 22 June

Council:
Canterbury Bankstown
Council

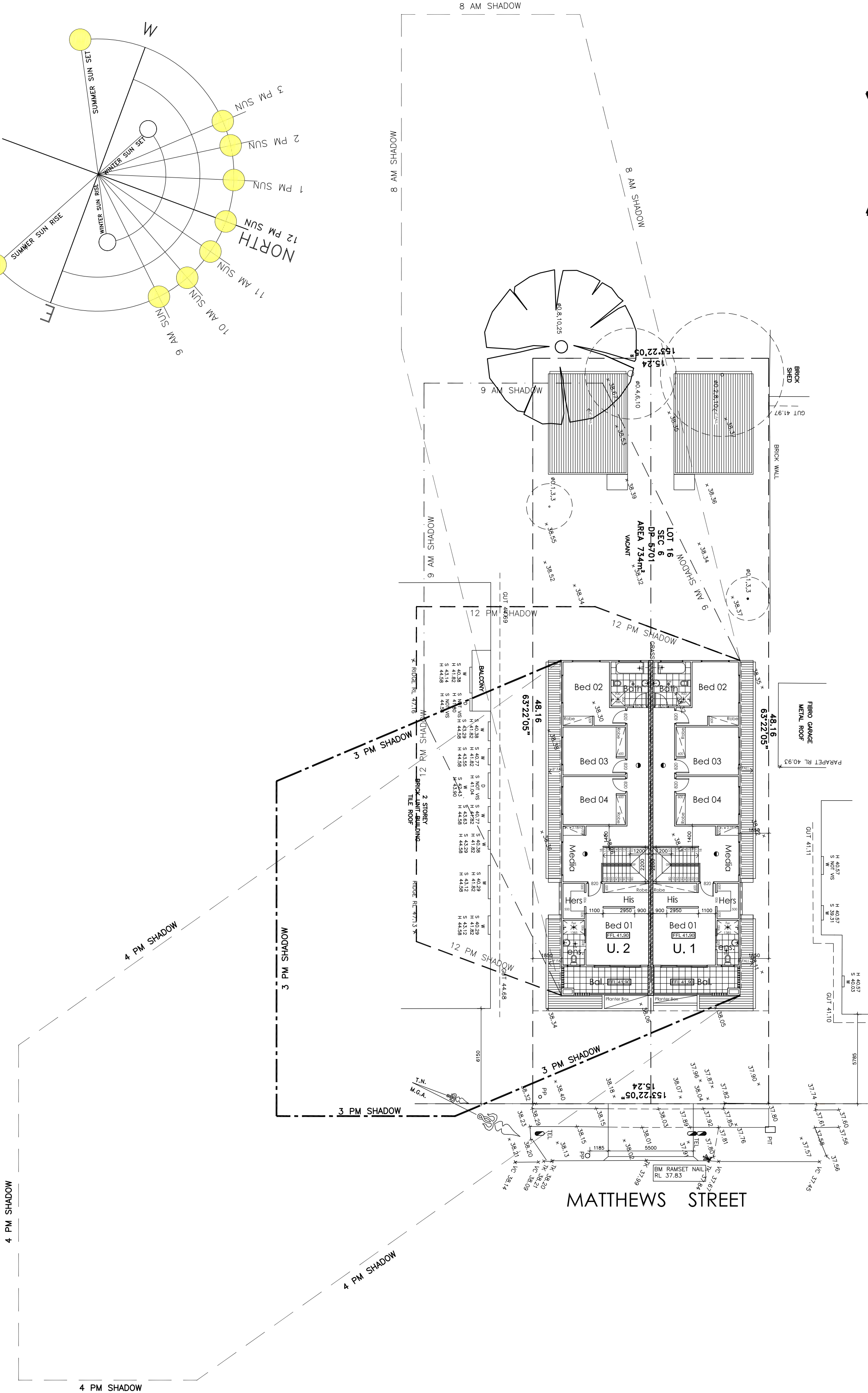
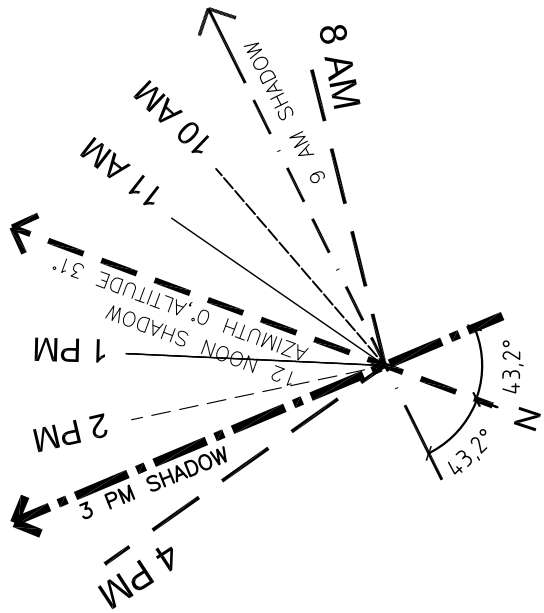
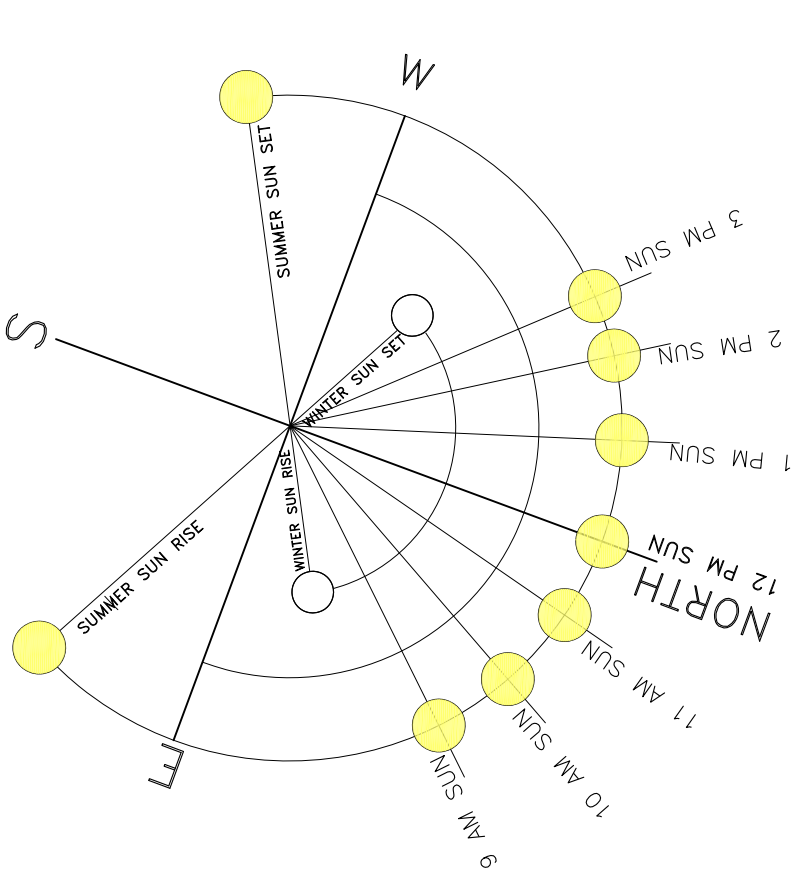
DA DRAWINGS

Drawn: A.T Date: 14.11.22 Project No. 34-2022

Checked: JK Scale: 1:200 (A2)

Sheet of Issue Draw. No. DA-402

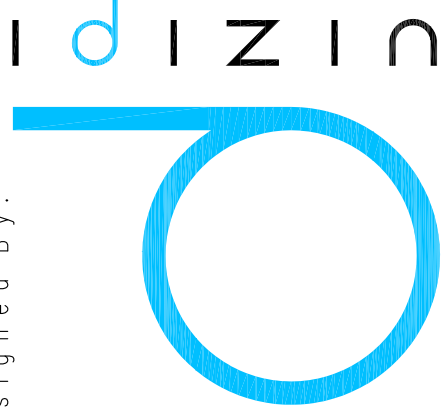
08 09 A



SHADOW DIAGRAM / 22 June

SCALE 1:200

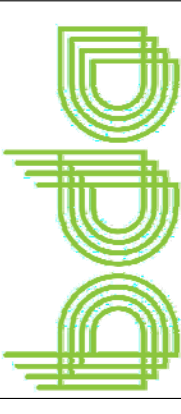
Designed By:



s y d n e y

Shop 3, 134-136 Woodville
Road, Merrylands 2160
P. 8677 9837
m. 0487 434946 (0487 idizin)
e. admin@idizin.com.au
p o b o x 6 0 4 M E R R Y L A N D S N S W 2 1 6 0
w w w . i d i z i n . c o m . a u

Full Chartered Member.



**BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA**

1. DO NOT SCALE FROM DRAWINGS. USE WRITTEN DIMENSIONS ONLY.
2. BUILDER TO CHECK & VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF WORK.
3. IT IS THE OWNERS RESPONSIBILITY TO ENSURE THAT THE ENGINEER HAS INVESTIGATED SUBSOIL CONDITIONS & DESIGNED ALL STRUCTURAL ELEMENTS TO SUIT.
4. THE DESIGN & DETAILS CONTAINED ON THIS DRAWING IS SUPPLIED IN CONFIDENCE & IS NOT TO BE USED FOR ANY OTHER PURPOSE, EXCEPT THAT AUTHORISED BY idizin sydney.

© COPYRIGHT 2022
idizin sydney

www.dialbeforeyoudig.com.au



LEGENDS:

● SMOKE ALARMS TO AS3786

Issue	Amendment	Initials	CCte
A	Issued for DA Approval	A.T	14.11.22

Address:

LOT: 16 SEC: 6

DP: 5701

15 Matthews Street

Punchbowl, NSW

Project:

Tree Removal, Construction of 2
Storey attached Dual Occupancy
and outbuildings, Torrens Title
Subdivision and Front Fence

Title:

Solar and Shadow Diagram at 22 March

Council:

Canterbury Bankstown

Council

DA DRAWINGS

Drawn: 14.11.22 Project No. 34-2022

Checked: Scale: 1:200 (A2)

JK Draw No. DA-403

Sheet of Issue A

